

NOTICE

TOWN OF WASAGA BEACH NOTICE OF PUBLIC MEETING AND COMPLETE APPLICATIONS FOR PROPOSED OFFICIAL PLAN AMENDMENT & ZONING BY-LAW AMENDMENT (FILE NO. OP003/24 & Z005/24)

The Town of Wasaga Beach has received applications for a proposed Official Plan Amendment and a proposed Zoning By-law Amendment pursuant to the provisions of the *Planning Act*, R.S.O. 1990, c. P.13, as amended. These applications are deemed complete for the purpose of the *Planning Act*.

KEY MAP

Council has not yet taken a position on the applications and notice is being circulated in order to obtain public and agency input.

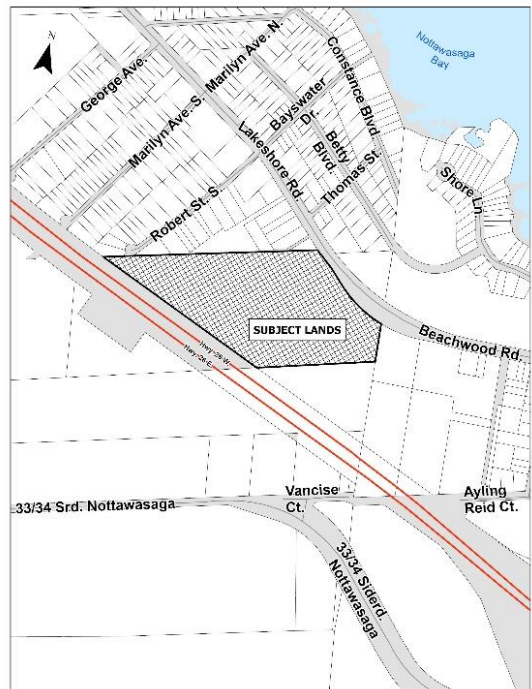
DATE AND LOCATION OF PUBLIC MEETING

Date: Monday July 29, 2024
Time: 10:00 a.m.
Location: Town Hall (30 Lewis St.) & Virtual/Electronic using “ZOOM”

THE SUBJECT LANDS are municipally addressed as: **8859 Beachwood Road**, and legally described as CON 4 N PT LOT 34.

THE PROPOSED OFFICIAL PLAN AMENDMENT would re-designate the subject lands from “Residential” and “Natural Heritage System Category 1” to “Residential”, “Medium Density Residential”, “High Density Residential”, “Open Space” and “Natural Hazards”. The proposed Official Plan Amendment would also amend Schedule ‘D’ of the Town’s Official Plan to remove the ‘Natural Heritage System Category 1 and 2 lands’ overlay on the subject property. Further, the Official Plan Amendment would establish new maximum density permissions within the medium and high density residential designations, and would permit medium density development west of 71st Street, where medium density development is generally discouraged as per Section 5.2.5.5 of the Town’s Official Plan. Additionally, the Official Plan Amendment would permit back-to-back townhouses within the Medium Density Residential designation.

THE PROPOSED ZONING BYLAW AMENDMENT would rezone the subject lands from the “Development” (D) Zone to the “Residential Type 1” (R1) Zone, Residential Type 2 Exception (R2-X) Zone, various “Residential Type 4 Exception” (R4-X) Zones



reflective of the dwelling types and densities proposed and various “Open Space Exception” (OS-X) Zones. Specifically, the proposal intends to permit the following:

Semi-detached dwellings on lands zoned “Residential Type 2 Exception X” (R2-X) shall be permitted with the following provisions:

- A minimum lot area of 195 square metres per unit
- A minimum lot frontage of 7.5m per unit
- A minimum interior side yard width of 1.5m
- A minimum exterior side yard width of 4.0m
- A minimum rear yard depth of 6.5m
- A maximum lot coverage of 50%
- Porches are permitted to encroach a maximum of 1.5m into a required front yard.
- Balconies are permitted to encroach a maximum of 1.5m into a required front or rear yard.
- Tandem parking is permitted.

Apartment uses on lands zoned “Residential Type 4 Exception X” (R4-X) shall be permitted with the following provisions:

- A maximum gross floor area of 160% of the lot area
- A maximum building height of 18.0m.
- A minimum of 1.22 parking spaces per unit
- Residential units on the ground floor of an apartment building may be provided access from an internal corridor system or directly from the outside.

Residential uses on lands zoned “Residential Type 4 Exception XX” (R4-XX) shall be permitted with the following provisions:

- Permit back-to-back townhouse dwellings.
- A minimum interior side yard width of 1.5m
- A minimum exterior side yard width of 2.5m
- A minimum rear yard depth of 0.0m
- A maximum lot coverage of 57%
- A minimum landscaped open space of 27%
- Porches are permitted to encroach a maximum of 1.5m into a required front yard.
- Balconies are permitted to encroach a maximum of 1.5m into a required front yard.
- Tandem parking is permitted.

Townhouse dwellings on lands zoned “Residential Type 4 Exception XXX” (R4-XXX) shall be permitted with the following provisions:

- A minimum lot area of 780 square metres
- A minimum lot frontage of 28 square metres
- A minimum interior side yard width of 1.5m
- A minimum exterior side yard width of 3.0m
- A maximum lot coverage of 52%

- Tandem parking is permitted.
- Porches are permitted to encroach a maximum of 1.5m into a required front yard.
- Balconies are permitted to encroach a maximum of 1.5m into a required front or rear yard.

Lands zoned “Open Space Exception X” (OS-X) shall be permitted with the following provisions:

- A minimum lot area of 2,000 square metres.
- A minimum lot frontage of 12m.

Lands zoned “Open Space Exception XX” (OS-XX) shall be permitted with the following provisions:

- A minimum lot area of 100 square metres.
- A minimum lot frontage of 4m.

Lands zoned “Open Space Exception XXX” (OS-XXX) shall be permitted with the following provisions:

- A minimum lot frontage of 8m.

THE PURPOSE AND EFFECT of the proposed Official Plan Amendment and Zoning By-law Amendment is to facilitate a residential development consisting of:

- 42 semi-detached dwelling units
- 322 townhouse/back-to-back townhouse dwelling units (consisting of 154 3-storey back-to-back townhouse dwelling units, 78 3-storey standard townhouse dwelling units and 90 2-storey standard townhouse dwelling units)
- 146 apartment dwelling units (two 6-storey apartment buildings, each consisting of 73 units)
- 1 public park block
- 1 stormwater management pond block
- 1 stormwater management channel block
- 1 common element block (consisting of amenity areas, visitor parking areas and the internal condominium street network)
- 1 maintenance access block
- 2 cul-de-sac conveyance blocks (for expansion to the Robert Street South cul-de-sac)

OTHER APPLICATIONS: The subject lands to these applications are also the subject of Plan of Subdivision Application (File No. PS002/24) under the *Planning Act*.

INFORMATION AVAILABLE: Additional information and materials relating to the proposal are available for review online using the following link: <https://bit.ly/456BzHn> or in person at the Municipal Planning Office, Town of Wasaga Beach, 30 Lewis Street, Wasaga Beach, Ontario during regular business hours. For more information about this matter, including information about appeal rights, contact the Planning Department

directly at (705) 429-3847 or by e-mail at planning@wasagabeach.com for further inquiries.

IF YOU WISH TO BE NOTIFIED of the decision of the Town of Wasaga Beach on the proposed Official Plan Amendment and Zoning By-law Amendment, you must make written request to:

Clerk, Town of Wasaga Beach, Clerk's Department, 30 Lewis Street, Wasaga Beach, Ontario L9Z 1A1 (email: deputyclerk@wasagabeach.com and/or (705) 429-3844 ext. 2224).

ORAL AND WRITTEN SUBMISSIONS:

Any person may attend the public meeting and/or make written or verbal representation either in support of or in opposition to the proposed Official Plan Amendment and/or Zoning By-law Amendment.

If you wish to be notified of the decision of the County of Simcoe on the proposed Official Plan Amendment, you must make a written request to County Clerk, County of Simcoe, 1110 Highway 26, Administration Centre, Midhurst, Ontario L9X 1N6, via email at: clerks@simcoe.ca

If a person or public body would otherwise have an ability to appeal the decision of the County of Simcoe to the Ontario Land Tribunal but the person or public body does not make oral submissions at the public meeting or make written submissions to the Town of Wasaga Beach before the proposed Official Plan Amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the Town of Wasaga Beach before the proposed Official Plan Amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable ground to add the person or public body as a party.

If you wish to be notified of the decision of the Council of the Town of Wasaga Beach on the proposed Zoning By-law Amendment, you must make written request to the Development Services Business Unit, Town of Wasaga Beach, 30 Lewis Street, Wasaga Beach, Ontario L9Z 1A1, via email at: deputyclerk@wasagabeach.com

If a person or public body would otherwise have an ability to appeal the decision of the Town of Wasaga Beach to the Ontario Land Tribunal, but the person or public body does not make oral submissions at a public meeting or make written submissions to the Town of Wasaga Beach before the by-law is passed, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the Town of Wasaga Beach before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

NOTICE TO LANDLORDS AND CONDOMINIUM CORPORATIONS: for any land that contains seven (7) or more residential units, the landowner is requested to post this Notice in a location that is visible to all of the residents.

MEETING DETAILS: The Public Meeting will be live streamed and may be viewed at the following link: <https://wasagabeach.civicweb.net/Portal/Video.aspx>
Please note you do not have to register to view the live stream.

Anyone wishing to participate in the meeting can attend virtually or in person and is encouraged to submit a written submission that will be circulated to Town Council and will become public record. If anyone wishes to orally participate in the meeting, they must pre-register with the Deputy Clerk. Written submissions and virtual participation requests must be received by 4:00 p.m. on July 26, 2024, by emailing deputyclerk@wasagabeach.com or calling 705-429-3844 x 2224.

To register in advance, please provide the following information:

- First and Last Name
- Municipal Address
- Phone Number
- Email Address
- The File/Application Number

Town staff will contact you with further information regarding the virtual/electronic public meeting once you have registered.

Dated at the Town of Wasaga Beach this 6th day of June, 2024.